

Householder Permitted Development Rights

Most alterations and extensions to property and changes of use of land require planning consent. This is achieved through the submission of a planning application to the Brecon Beacons National Park Authority, to ensure development protects and enhances our surroundings, as well as preserves important buildings and natural areas and strengthens the local economy.

However, not all extensions and alterations to dwelling houses require planning permission. Certain types of development are permitted without the need to make a planning application however, within National Parks permitted development rights are more restricted. **Not all properties have permitted development rights; it is your responsibility to ensure your permitted development rights are intact before any permitted works are carried out.**

This advice note offers simple guidance rather than a full explanation of planning law and you should contact the Brecon Beacons National Park Authority if there is any doubt whether your proposal would be permitted development. Whether or not planning permission is needed, good design is always important. Extensions and alterations should be in scale and harmony with your house, with attention to detail such as window and door openings and matching materials. Householders are encouraged to employ a skilled designer when preparing plans for extensions and alterations. The Authority's Planning Officers are able to offer general design guidance prior to the submission of your scheme.

If your house is a listed building you should seek the advice of the Brecon Beacons National Park Authority before commencing any work, as listed building consent may be required.

The relevant permitted development rights are set out in the Town and Country Planning (General Permitted Development) (Amendment) (Wales) Order 1995. The relevant section relating to dwellings was revised in October 2013. The following flow charts provide a simplified version of the legislation as it applies in the National Park. Further guidance can be found in the Welsh Government publication 'planning: a guide for householders' which can be found on their website www.wales.gov.uk.

This advice note is divided into 11 sections:

Section 1 - What does require a householder application for planning permission?

Section 2 - Side extensions

Section 3 - Rear extensions

Section 4 - Other extensions

Section 5 - Roof Alterations

Section 6 - Porches

Section 7 - Outbuildings and oil containers

Section 8 - Hard Surfacing

Section 9 - Chimneys

Section 10 - Microwave antennas

Section 11 - Trees

If the answers to the following questions remain no throughout all, planning permission may not be required and the relevant permitted development right conditions should be applied.

NB: The principle elevation is the most important elevation of the house, it can consist of the main entrance door, porch, driveway, bay windows, gables, lowest solid to void ratio, visually prominent, relationship with adjoining properties, original orientation of historic buildings, widest elevation. Usually the front elevation of the dwellinghouse having the principal design or architectural features.

Section 1

What does require a householder application for planning permission?

- Two storey extensions
- Out buildings to the side of the dwelling
- External wall insulation and cladding
- Any alterations, replacement or installations of chimneys
- Any alterations, replacement or installations of a microwave antenna
- The insertion of a roof light into a roof slope
- Any enlargement of a dwellinghouse consisting of an addition or alteration to its roof
- Development beyond the principal elevation

NB: The principle elevation is the most important elevation of the house, it can consist of the main entrance door, porch, driveway, bay windows, gables, lowest solid to void ratio, visually prominent, relationship with adjoining properties, original orientation of historic buildings, widest elevation. Usually the front elevation of the dwellinghouse having the principal design or architectural features.

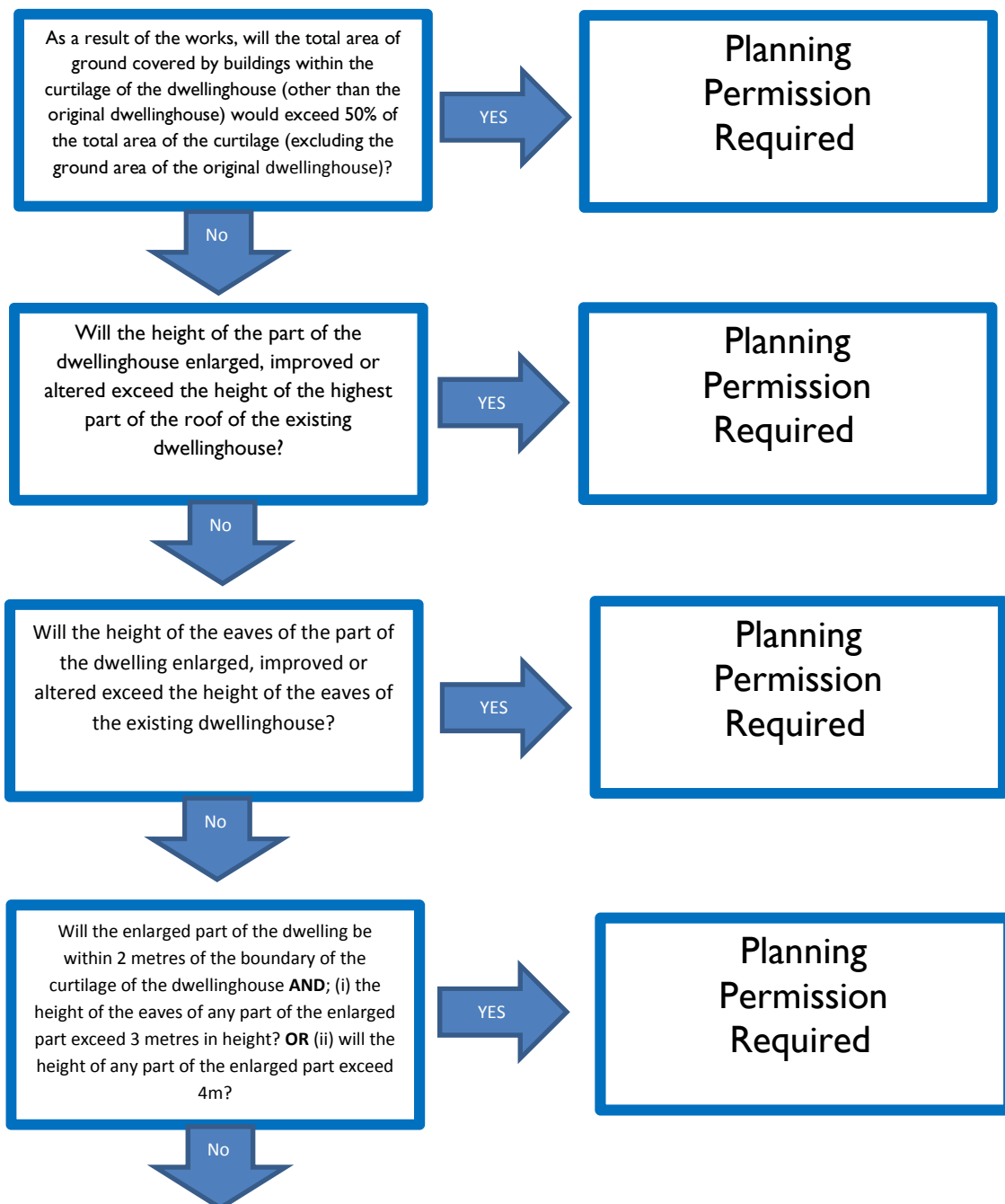
Section 2

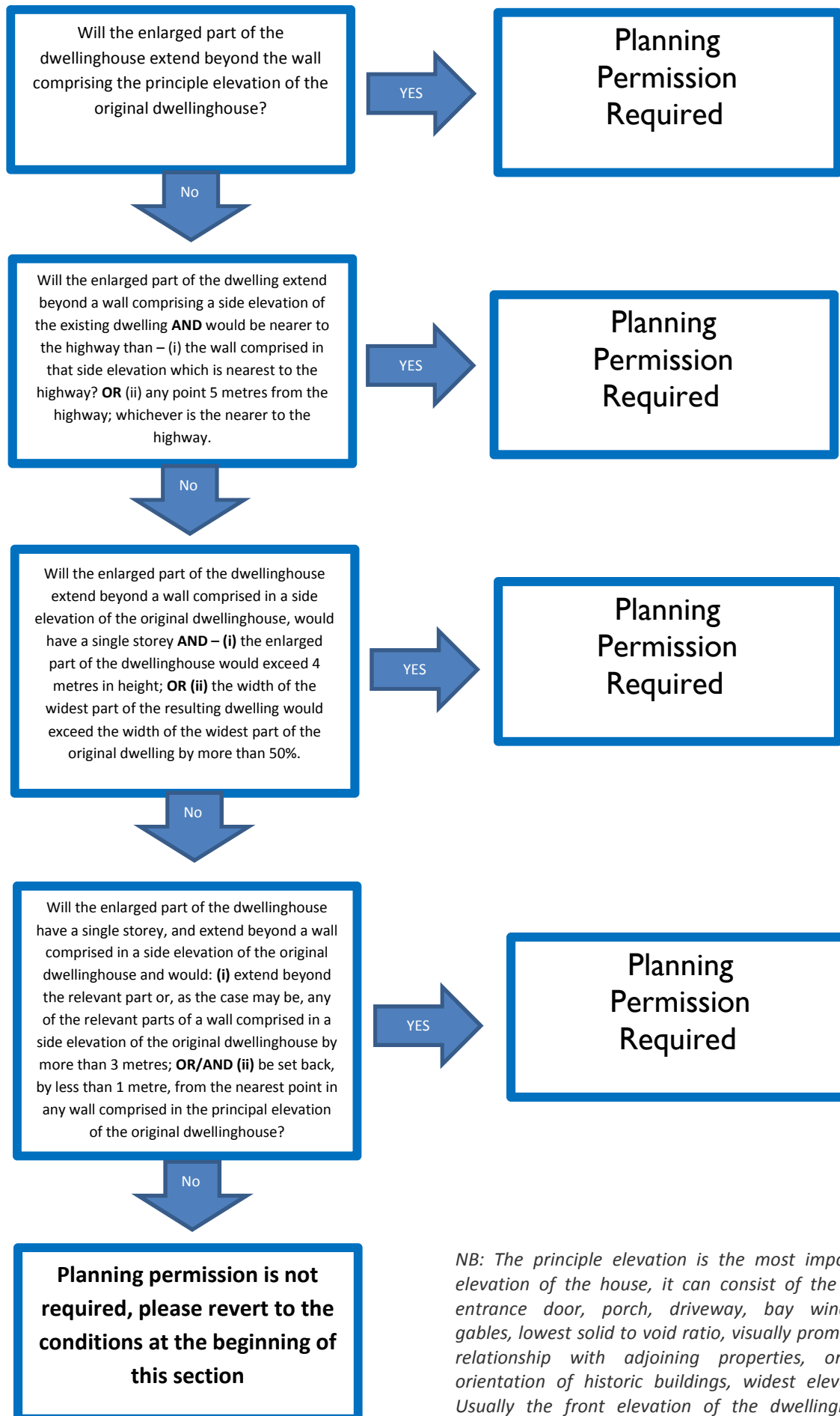
Class A: The enlargement, improvement or other alteration of a dwelling house

Side extensions

If development is permitted, the conditions include:

- *Upper Floor windows in side elevations within 10.5 metres of the boundary are to be obscure glazed and if lower than 1.7 metres from internal floor level it should be non-opening.*
- *The appearance of the materials used in the wall, roof or other element of any exterior work must so far as practicable match the appearance of the materials used of the existing dwellinghouse.*





NB: The principle elevation is the most important elevation of the house, it can consist of the main entrance door, porch, driveway, bay windows, gables, lowest solid to void ratio, visually prominent, relationship with adjoining properties, original orientation of historic buildings, widest elevation. Usually the front elevation of the dwellinghouse having the principal design or architectural features.

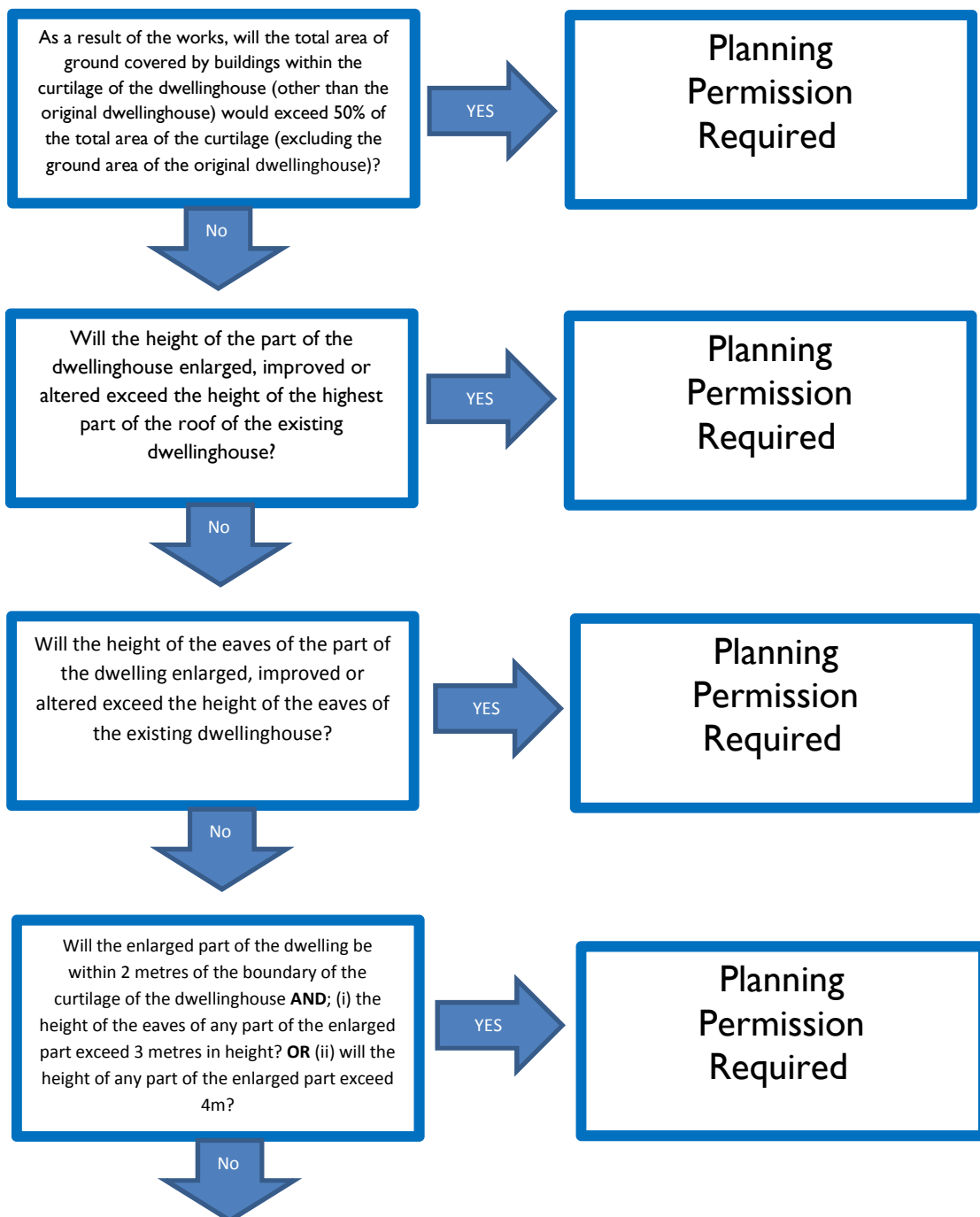
Section 3

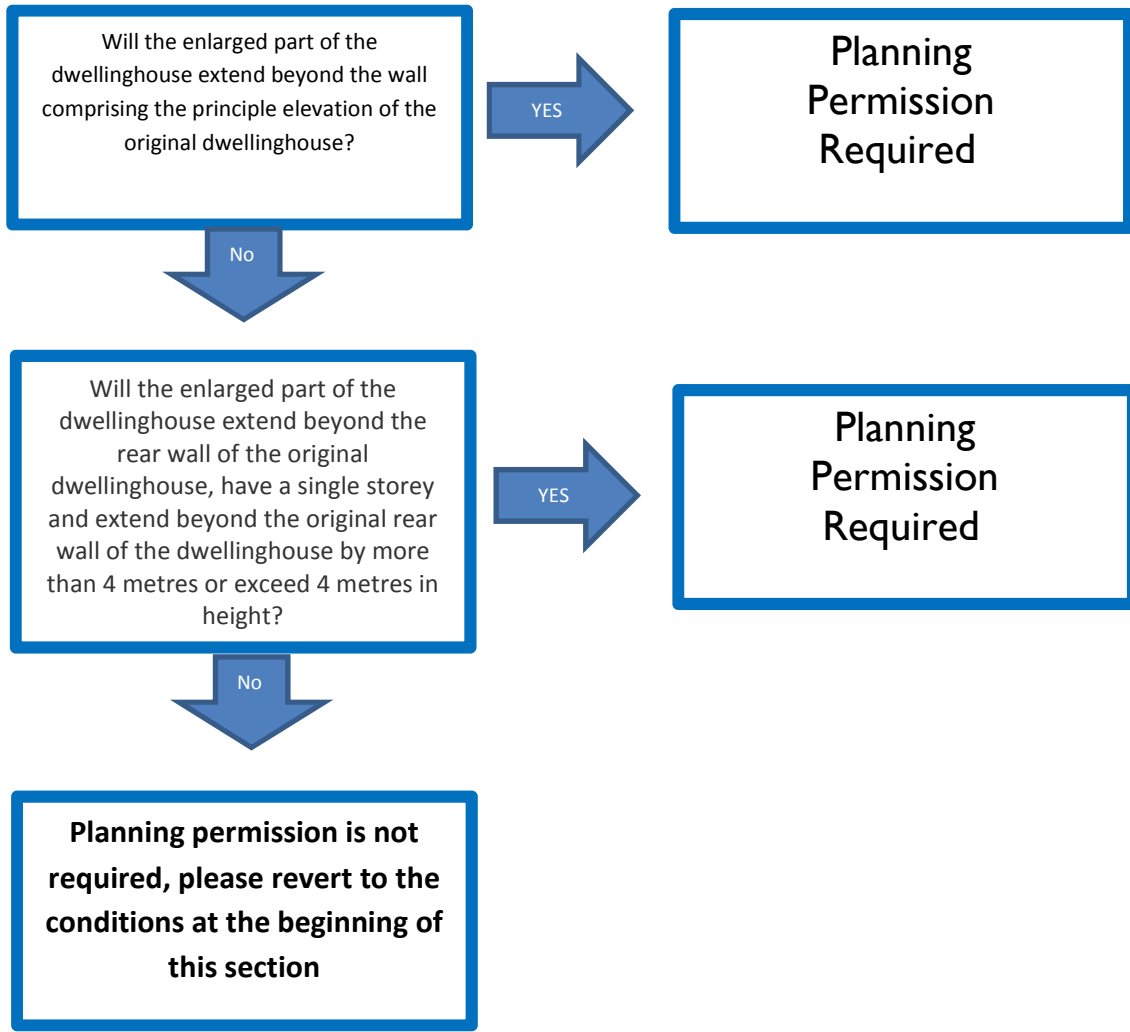
Class A: The enlargement, improvement or other alteration of a dwelling house

Rear extensions

If development is permitted, the conditions include:

- *Upper Floor windows in side elevations within 10.5 metres of the boundary are to be obscure glazed and if lower than 1.7 metres from internal floor level it should be non-opening.*
- *The appearance of the materials used in the wall, roof or other element of any exterior work must so far as practicable match the appearance of the materials used of the existing dwellinghouse.*





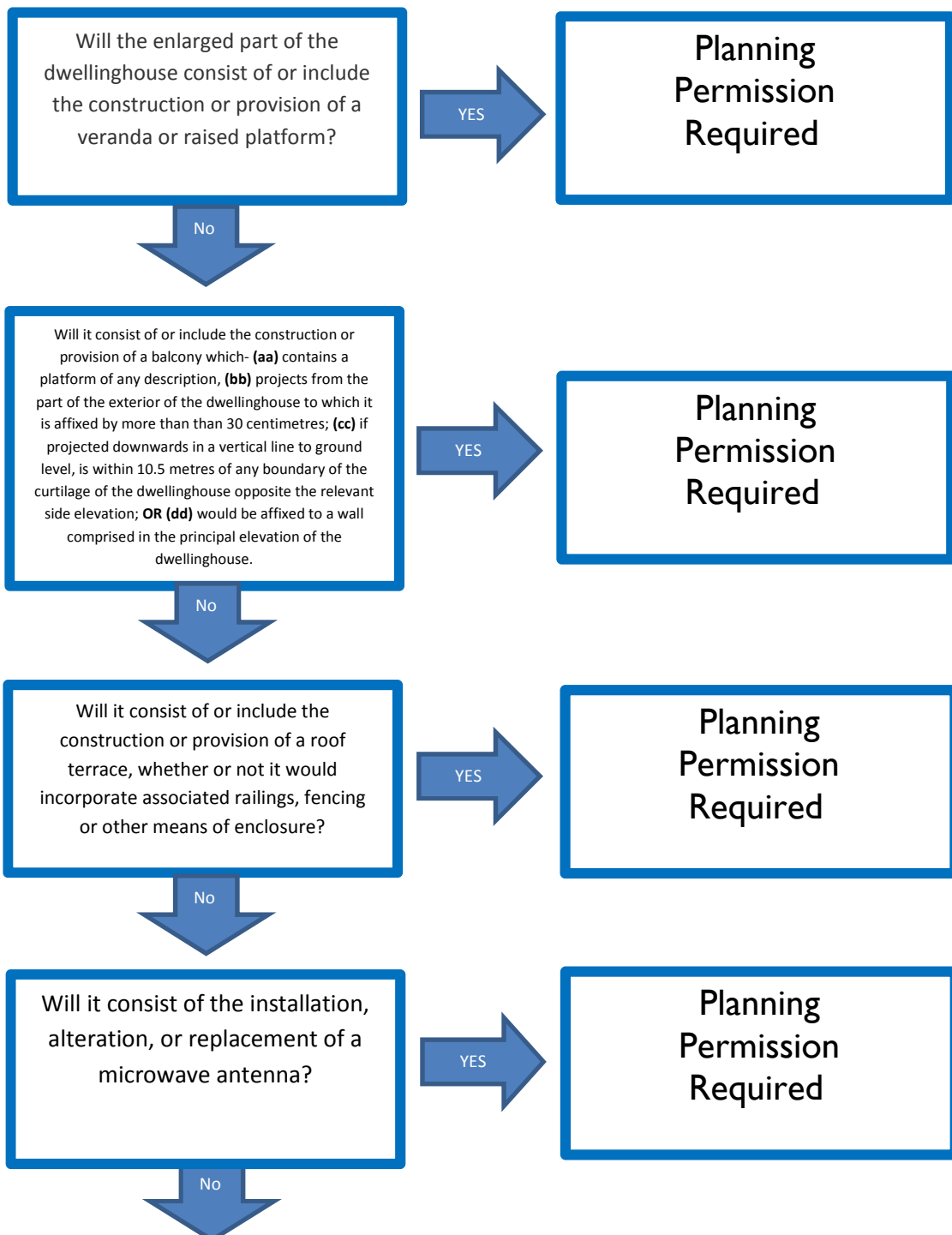
Section 4

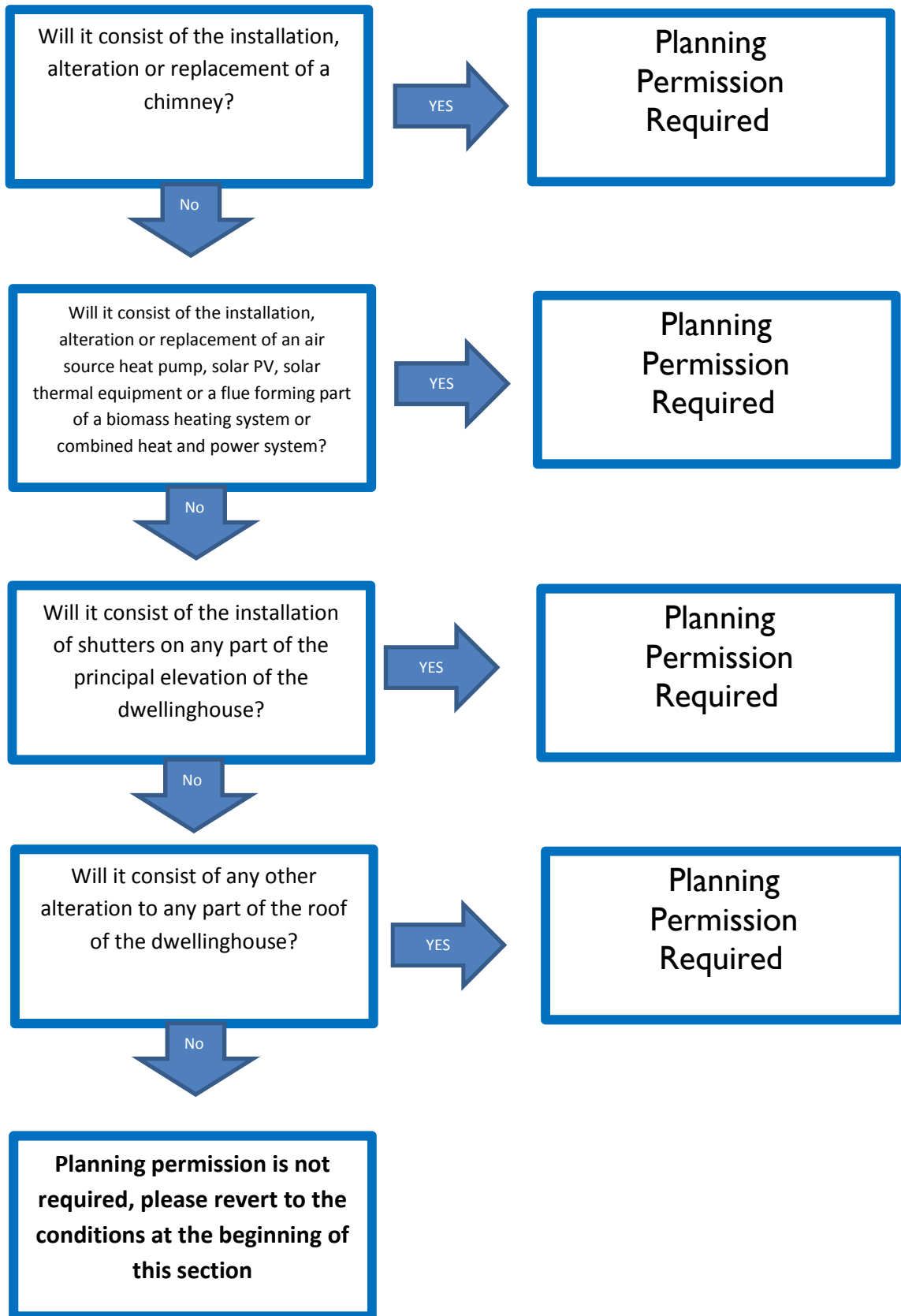
Class A: The enlargement, improvement or other alteration of a dwelling house

Other extensions

If development is permitted, the conditions include:

- Upper Floor windows in side elevations within 10.5 metres of the boundary are to be obscure glazed and if lower than 1.7 metres from internal floor level it should be non-opening.
- The appearance of the materials used in the wall, roof or other element of any exterior work must so far as practicable match the appearance of the materials used of the existing dwellinghouse.
-





Section 5

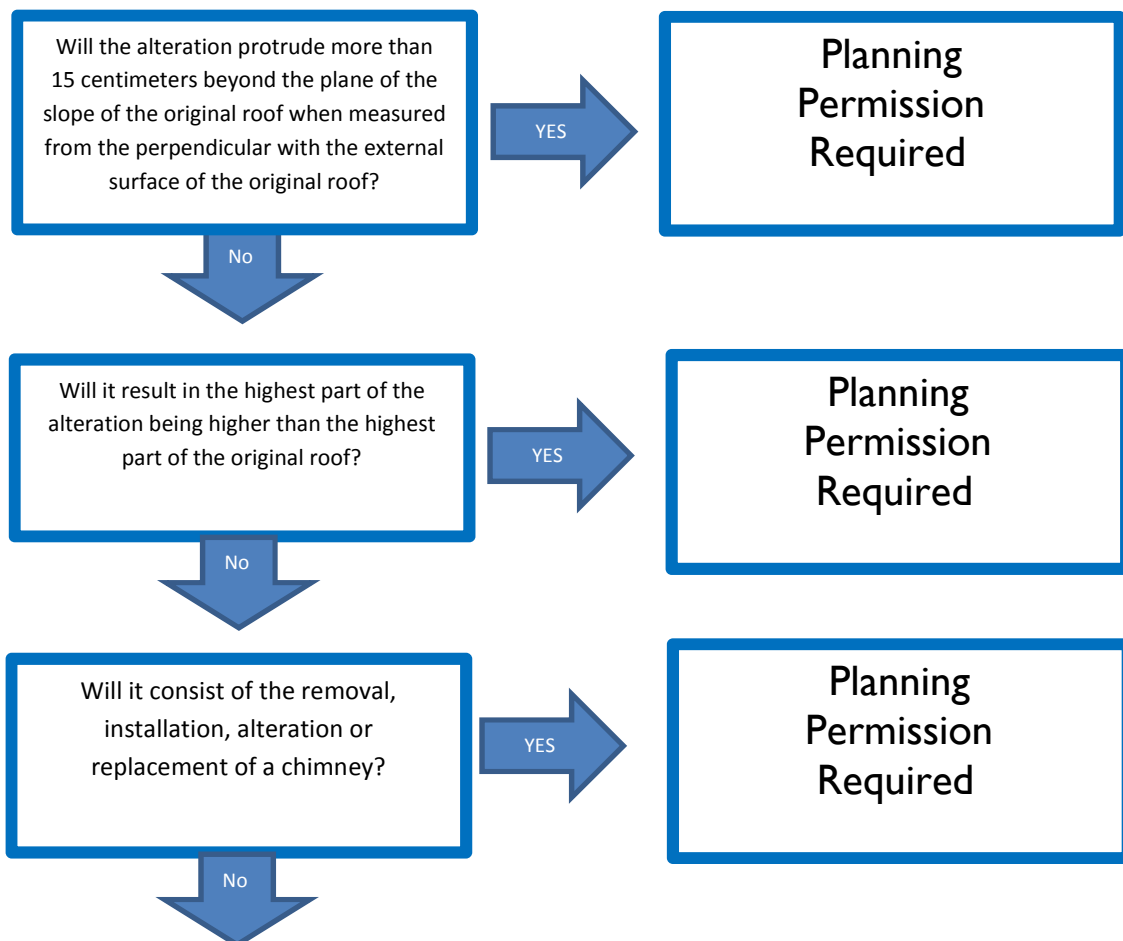
Class B: The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

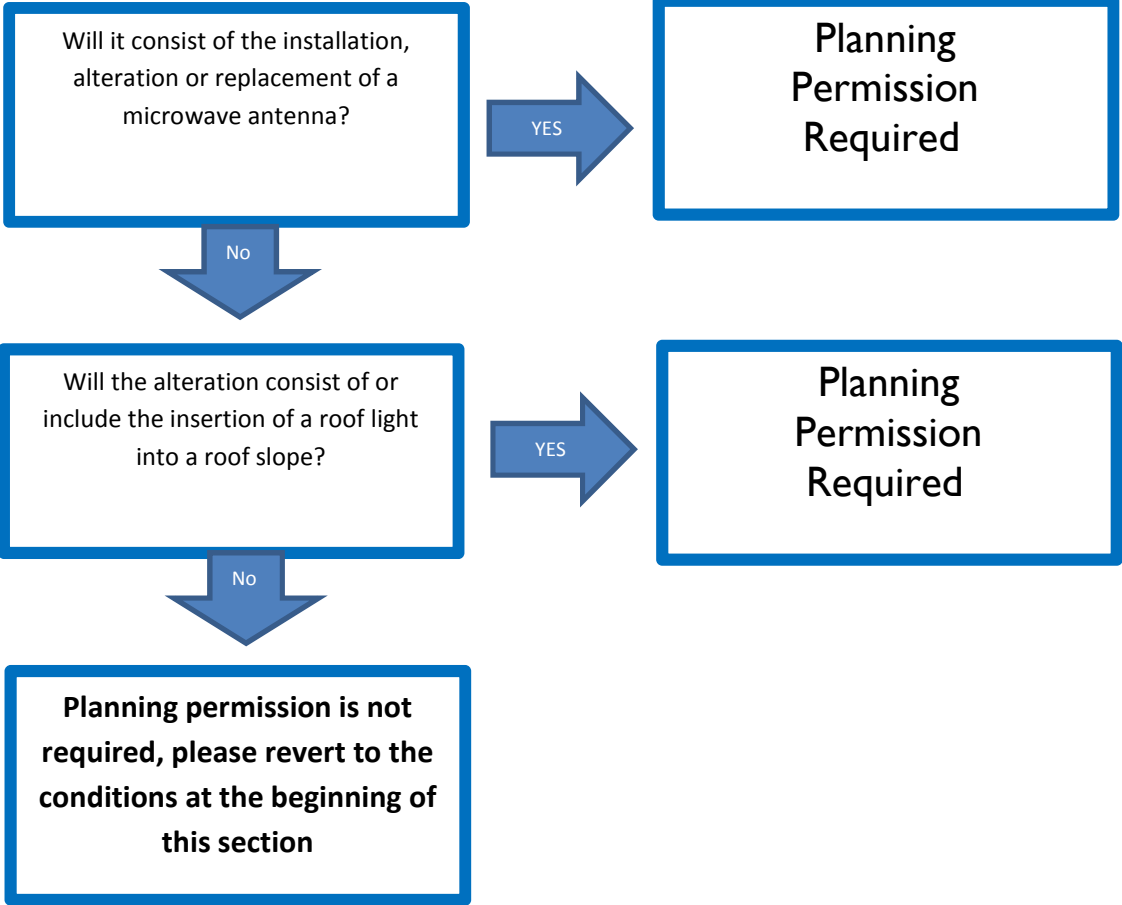
Any enlargement of a dwellinghouse consisting of an addition or alteration to its roof (eg, the insertion of a roof light) requires planning permission in the National Park.

Class C: Any other alteration to the roof of a dwellinghouse.

If development is permitted, the conditions include:

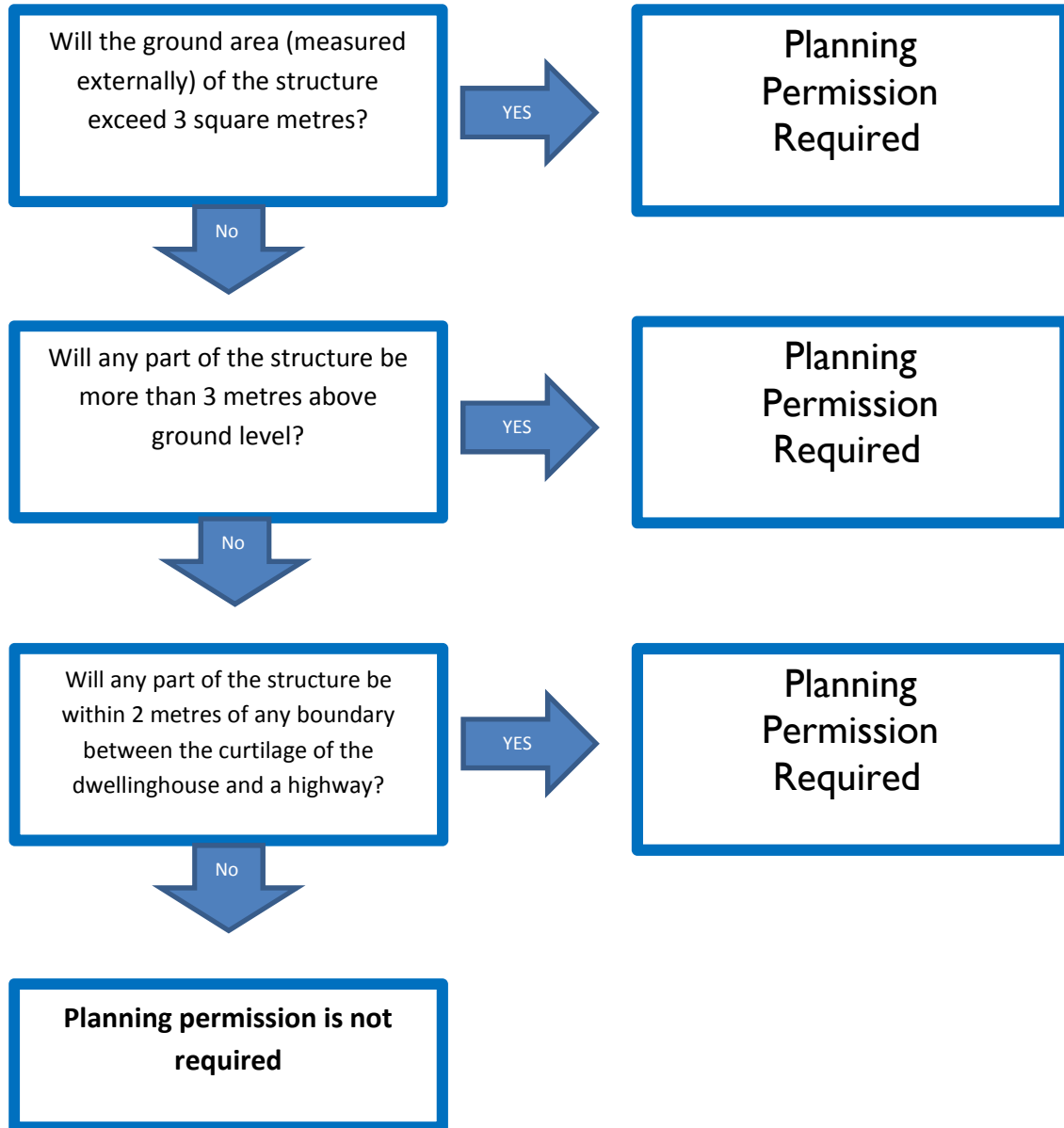
- *The appearance of the materials used in each element of any exterior work must so far as practicable match the appearance of the materials used in the equivalent element of the existing dwellinghouse; and*
- *If any element of a window inserted on a roof slope or other element of a side elevation of the dwellinghouse would, if projected downwards in a vertical line to ground level, be within 10.5 metres of any boundary of the curtilage of the dwellinghouse opposite the relevant side elevation, the window must be:
 - (i) *Obscure-glazed;*
 - (ii) *Non-opening unless any part of the window which can be opened is, when measured at any point along the lowest edge of that part, at least 1.7 metres above the internal floor or stair of the dwellinghouse directly below that point.**





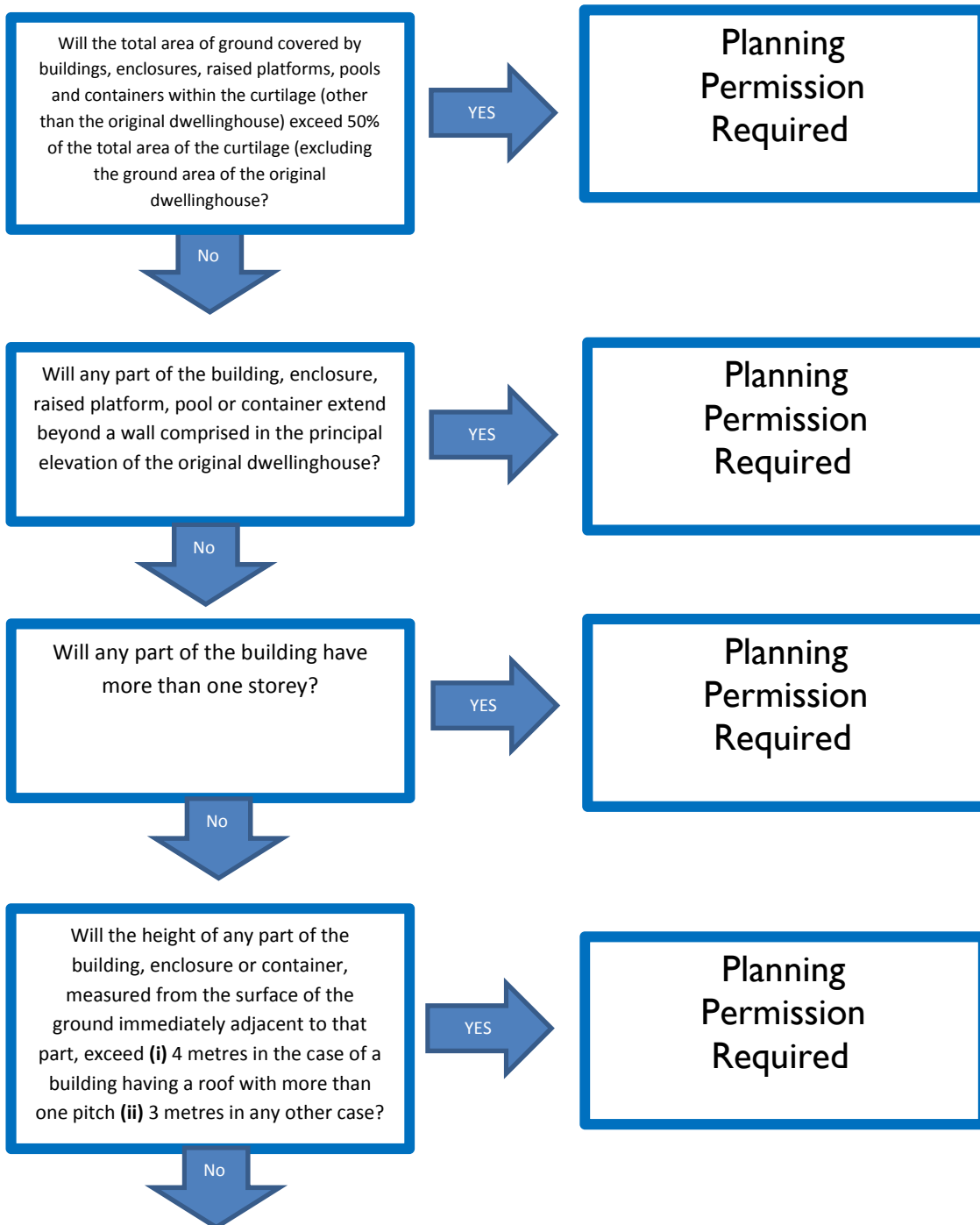
Section 6

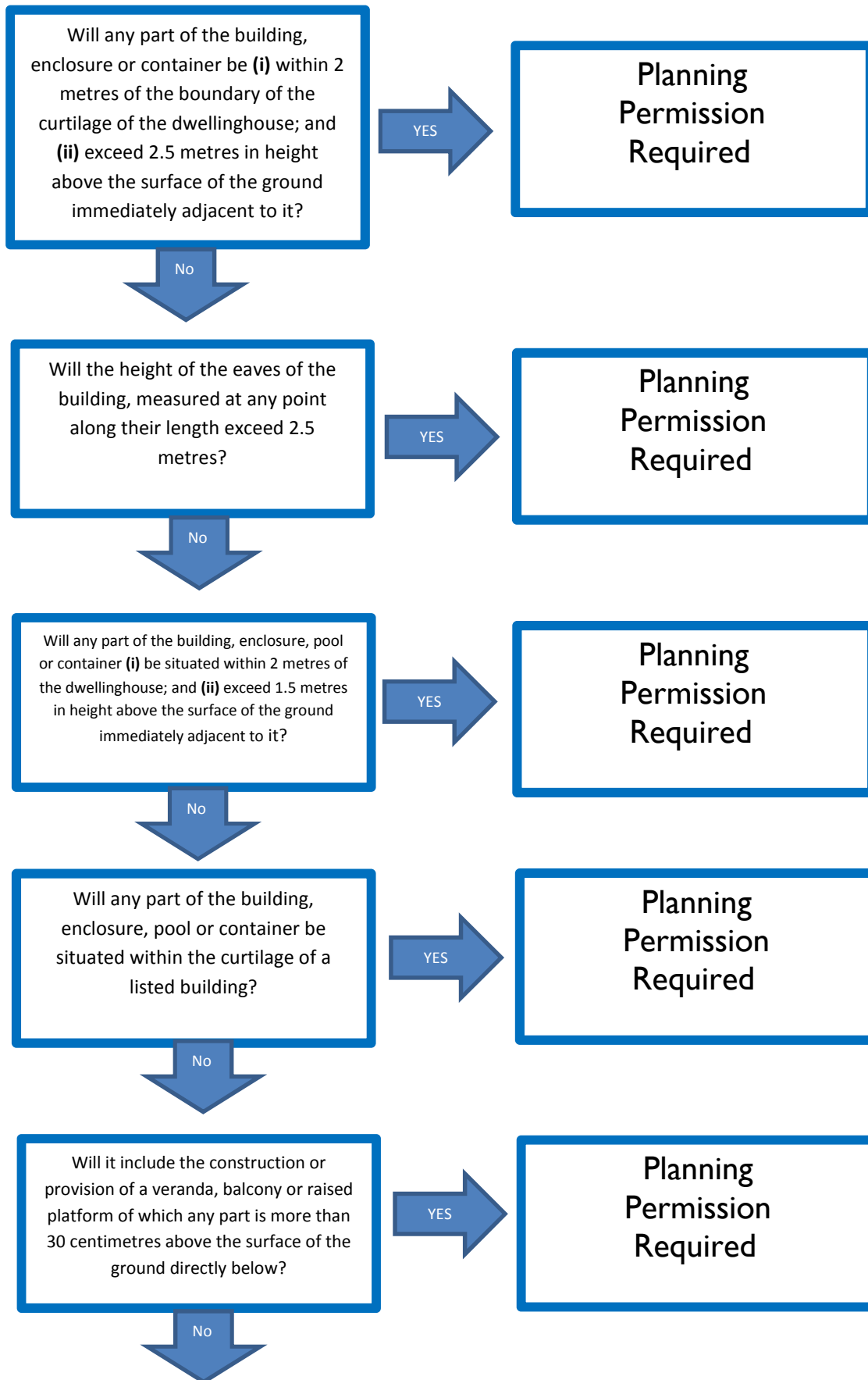
Class D: The erection or construction of a porch outside any external door of a dwellinghouse

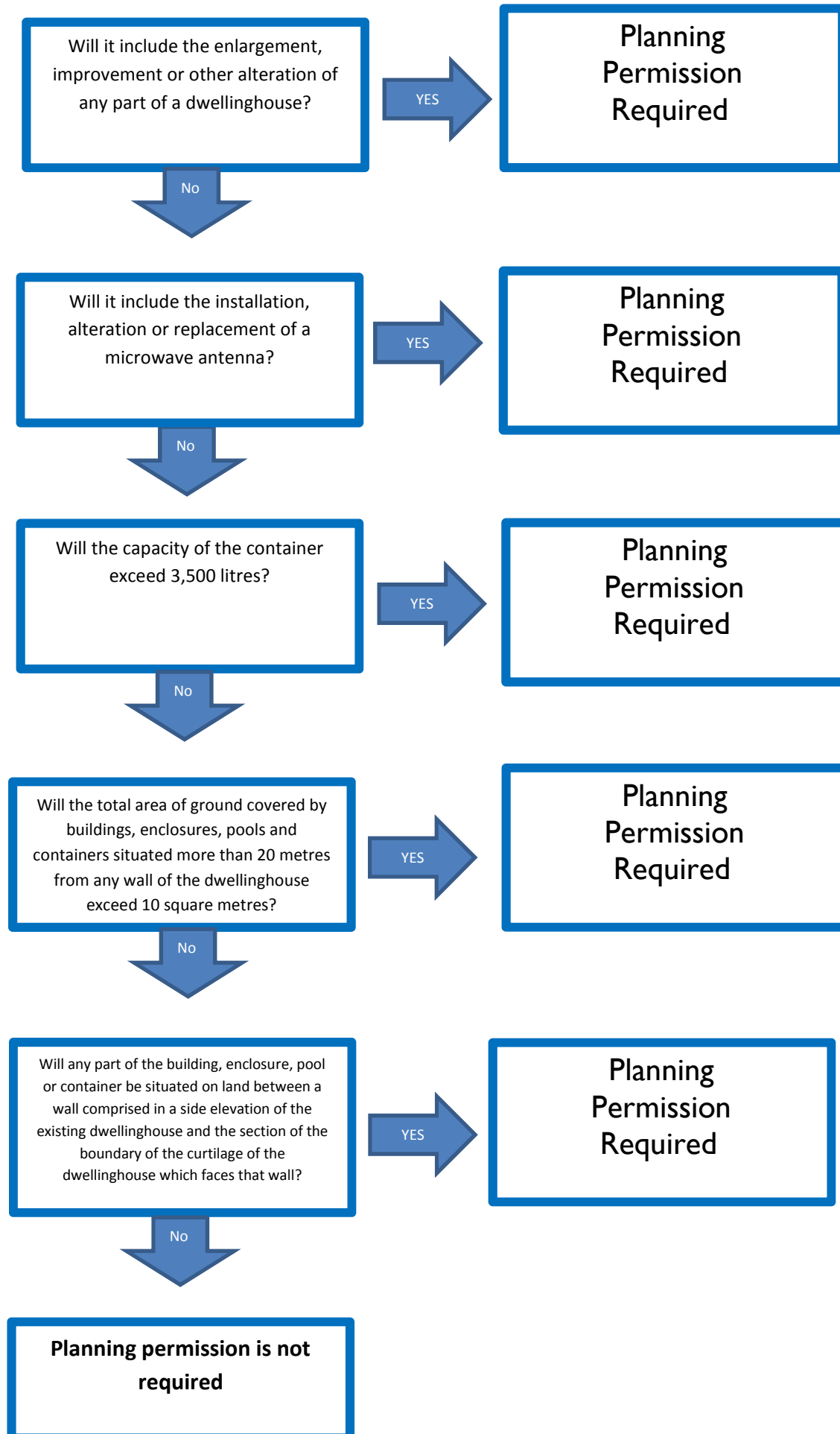


Section 7

Class E: The provision within the curtilage of the dwellinghouse of (A) any building or enclosure, raised platform, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building, enclosure, platform or pool; or (B) a container used for domestic heating purposes for the storage of oil or liquid petroleum gas.





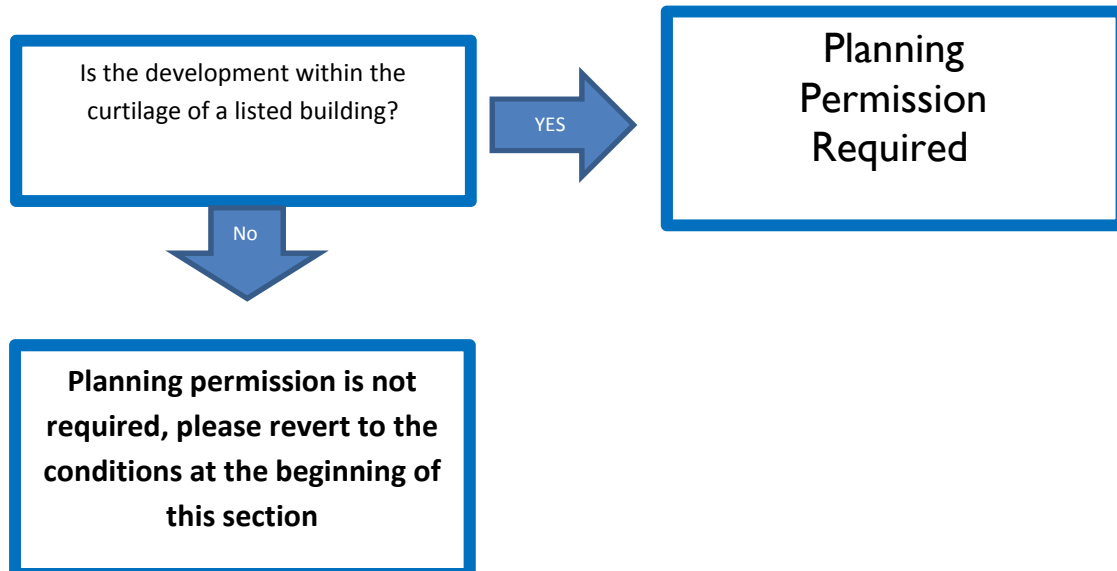


Section 8

Class F: Development consisting of (a) the provision within the curtilage of a dwellinghouse of a hard surface for any purpose incidental to the enjoyment of the dwellinghouse as such; OR (b) the replacement in whole or in part of such a surface

If development is permitted, the conditions include:

- *The area of ground to be covered by the hard surface is situated forward of the principal elevation of the dwellinghouse and between the principal elevation and a highway; OR*
- *The area of hard surface to be replaced would be forward of the principal elevation of the dwellinghouse and between the principal elevation and a highway, and (taking into account any area of hard surface previously replaced) would exceed 5 square metres, the hard surface must be: (i) porous or permeable; OR (ii) provided to direct run-off water from the hard surface to a porous or permeable area or surface within the curtilage of the dwellinghouse; AND (iii) permanently maintained so that it continues to comply with the requirements of paragraph (i) and (ii).*



Section 9

Class G: The installation, alteration or replacement of a chimney on a dwellinghouse.

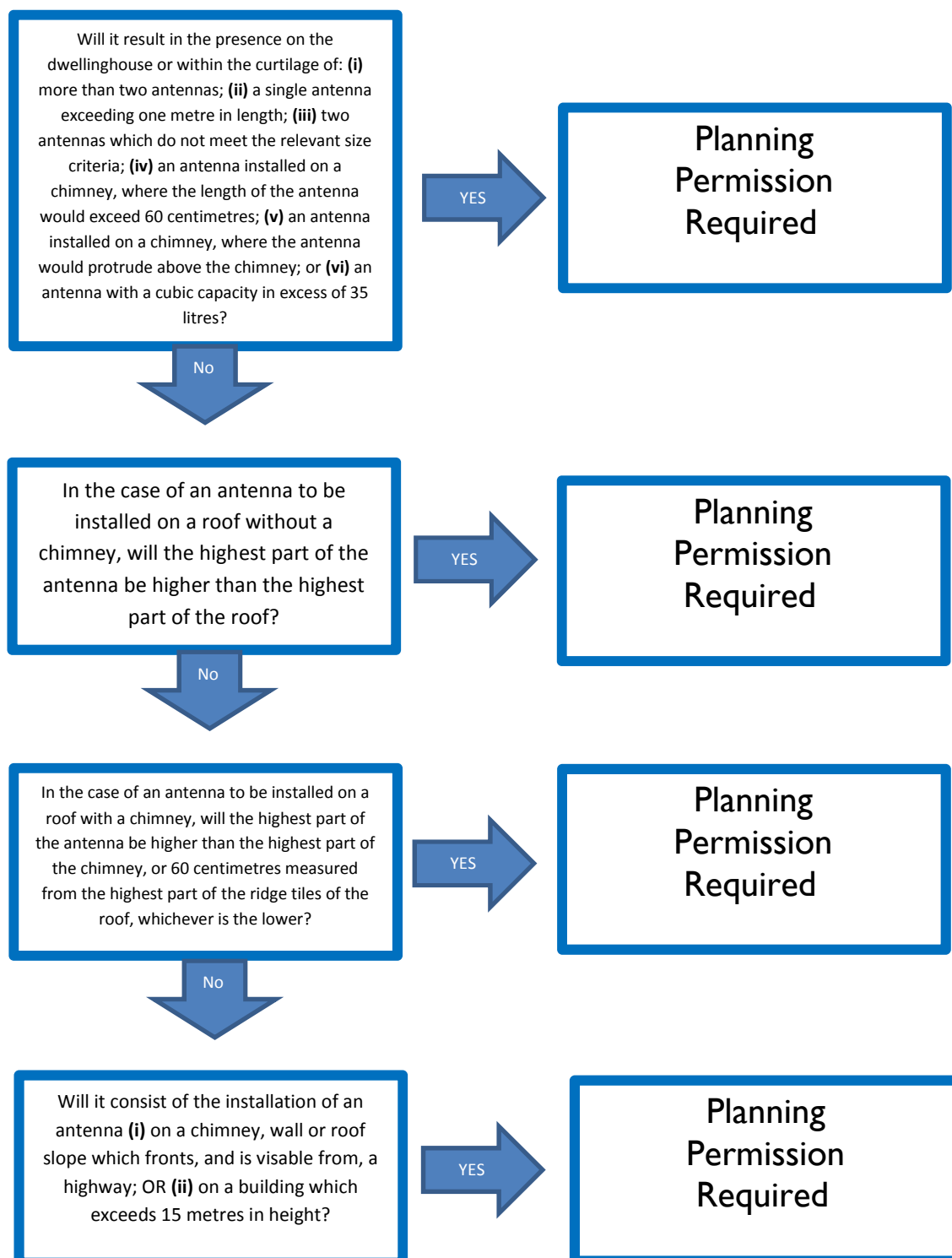
The installation, alteration, removal or replacement of a chimney requires planning permission in the National Park.

Section 10

Class H: The installation, alteration or replacement of a microwave antenna on a dwellinghouse or within the curtilage of a dwellinghouse

If development is permitted, the conditions include:

- *An antenna installed on a building must, so far as practicable, be sited so as to minimise its effect on the external appearance of the building; and*
- *An antenna no longer needed for reception or transmission purposes must be removed as soon as reasonably practicable*

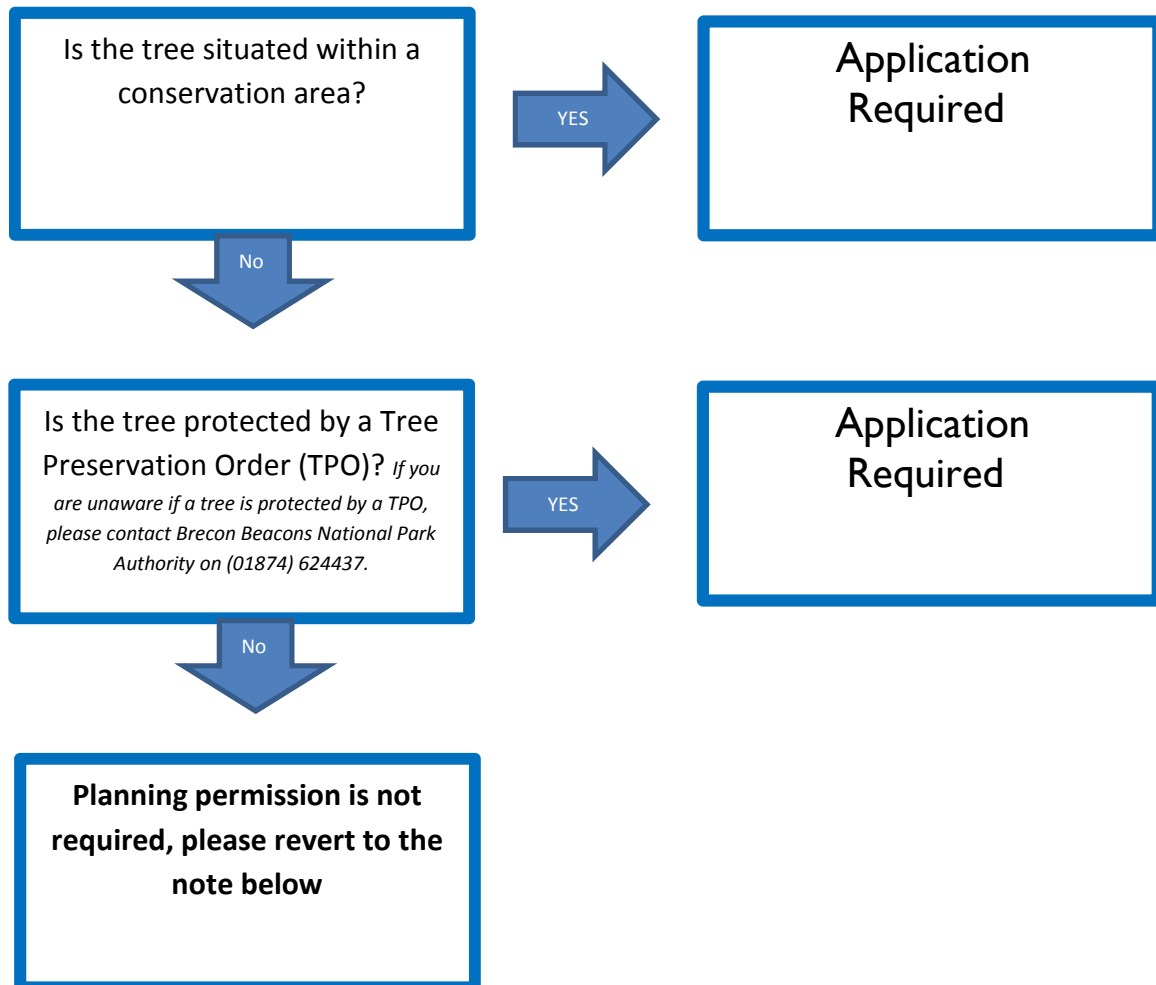




Planning permission is not required, please revert to the conditions at the beginning of this section

Section 11

Works to Trees



NB: Previous planning permissions may affect your rights to lop, top or fell trees.

PLEASE NOTE: Work should halt immediately and Natural Resources Wales (NRW) contacted for advice in the event that protected species are discovered during the course of the development. To proceed without seeking the advice of NRW may result in an offence under the Conservation of Habitats and Species Regulations 2010 and/or the Wildlife & Countryside Act 1981 (as amended) being committed. NRW can be contacted at: NRW, Cantref Court, Brecon Road, Abergavenny, NP7 7AX Tel: 01873 737000